

JAL VAYU VIHAR
Apartment Owner's Association
Kukatpally, Hyderabad-500 072. Tel:23058018
Regd No.4167 of 1992

NOTICE

Notice is hereby given that the Annual General Body Meeting of the Members of Jal Vayu Vihar Apartment Owners' Association(JVVAOA)will be held at 4PM on Sunday 01 Jun 2008 in the Community Health Center "AKASH GANGA" near JVVAOA Office, Kukatpally, Hyderabad-72 to transact the following business.

1. Reading of the Minutes of the previous AGM (AGM 2007)& EGM 04 Nov 2007 and approving the same.
2. Report of the Board of Managers.
3. Presentation of Accounts; Details of proposed capital expenditure; Appointment of Auditor for The Year 2008-2009.
4. Election of Board of Managers.
5. Discussion on Agenda Points:
 - Illegal Addition and Alterations
 - Water Supply
 - Security
 - Accounting Software
 - Employees of JVVAOA
6. Discussions on New Points forwarded by members.
7. Any other points, with the permission of the Chair and the Meeting will be followed by Dinner at 8.30PM

You may kindly send latest by 30 May 2008

- a) Any points/Suggestions for inclusion (after scrutiny by Board of Managers) in the agenda
- b) Nominations for election to the Executive Board of Managers, and
- c) Proxy forms
- d) Queries, if any, on the BOM report and Balance Sheet at an early date to prepare for satisfactory answers and enable better time management in the AGM.

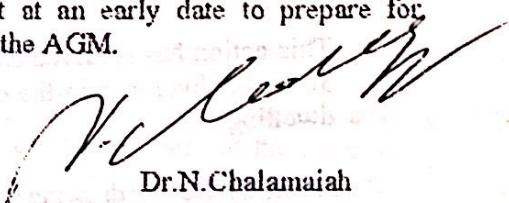
Hyderabad-500072

Date: 13 May 2008

- Encls:**
1. Report of the Board of Managers.
 2. Balance Sheet
 3. Proxy form.

Note:-

1. A member entitled to attend and vote at the meeting, is entitled to appoint a proxy to attend and vote instead of himself/herself. The enclosed proxy form duly completed, must reach the Association Office 48 hours before the scheduled time of the meeting.
2. Members/Proxies are requested to be present 10 minutes prior to the scheduled time to register.
3. Procedure adopted for election of Board of Executive Managers.
 - a) The proposer and seconder of a nominee must be from the same type of DUs.
 - b) A Member can propose only one nominee and second only one nominee.
 - c) A nominee must be a member of JVVAOA and also resident of JVV.
 - d) A nominee must announce acceptance of his/her nomination.
 - e) Election by Ballot will be held, if necessary.


Dr.N.Chalamaiiah
Secretary

REPORT BY BOARD OF MANAGERS FOR 2007-2008

Dear Members,

1. The Present Board of Managers was elected during the last AGM on 29 Apr 2007. The Board after its initial organizational meeting in Mid May had regular fortnightly meetings since 09 May 2007 to plan the development and effective upkeep and maintenance of our Colony. The board co-opted Wg Cdr.NV.Kishore Naidu as Executive member for Security.
2. Meeting of all residents (Owners & Tenants) was held on 19 May 2007 at 7PM at Akash Ganga (Community Health Center) to discuss all general issues connected with the development, upkeep and maintenance of the Colony and the interaction proved very useful and helped in smooth and co-operative functioning. We recommend that such meeting be mandated every year once in every quarter.
3. M/s.S.C.Bose & Co were appointed by the board of Managers as Auditors for the year agreeing to pay Audit fees, Consultancy Rs.10,000/- and service charge at 12.36%. We recommend them to continue for the year 2008-09.
4. Minutes of the meeting of AGM 2007 were circulated. We submit below, the Action taken in respect of last AGM points.

REPORT ON ACTION POINTS OF AGM 2007

a) Fitment of Water Meters:-

Water Meters were fitted for all Dwelling Units duly changing part of old pipe fittings and adding new to maximize the water flow. The entire cost of specials and fitting charges for labour was met by the Association, except for the cost of Meters.

The quantity of water drawn from the water board is enhanced to 400 KL per day (from 300 KL for day by duly paying Rs.6,35,000/-).

This action has resolved the long pending problem of not getting water to the over head Tanks of 30 to 40 dwellings in the colony and also the water scarcity or insufficient flow to some of the dwellings.

Presently we are drawing about 250 Kl per day on the average and there have been no complaints of non-availability or insufficiency of water as the members are using the water judiciously.

There has not been much expenditure on the Maintenance of Electrical & Mechanical equipment pumping the water as major repairs and replacements were done during 2006-2007.

b) Roads & Drains Maintenance:-

The Deputy Commissioner, Kukatpally Mr.Srinivas Goud was taken around the colony on 19th Feb 2008 at 09-30 to 10-00 hrs and was shown the condition of roads and drains in the colony. He has promised to release sufficient amount for re-carpeting of the balance main road (major portion of the main road was re-carpeted during 2006-2007) and provide partial amount for re-carpeting of arterial roads. He further promised to re-carpet the approach road to the colony from the South i.e. the entrance road from the Shiva Parvathi side.

The drainage pipeline leading from Type II & III was chocked up and inconveniencing residents in that area. Previous efforts to repair the same were futile and choking has taken place frequently. A new drainage pipeline was constructed along with two manholes to join the septic tank and the problem of drainage to the type II & III houses was resolved on permanent basis.

c) **Garbage disposal:-**

The garbage dumped by the HMT hills colony against the northern compound wall of our colony got removed through continuous persuasion with the municipal authorities.

e) **General cleanliness of common areas:-**

All the areas in the colony were given equal importance and kept clean by attending in rotation. The municipal authorities were persuaded to increase the frequency of garbage collection to keep the area clean.

The residents are resorting to throwing garbage in open places in spite of repeated requests to refrain from such activity, the residents are again requested to brief their servants /domestic helpers to follow and use only the Bins kept for this purpose.

f) **Sports:-**

All the equipments in the children parks and other play areas are repaired and painting for safe use by the children. Flood light posts were fixed near the shuttle court adjoining the Tennis Court. A new shuttle court is laid near the Tennis Court.

g) **Security:-**

The security agency contractor was irregular in paying salaries to his staff which has resulted in irresponsible behavior by the security guards and the services of the agency was discarded from Jan 2008 duly paying the wages of the security guards directly. Nine security guards including a supervisor are employed temporarily on daily wages to tide over the situation as a fire-fighting measure.

A quotation from Assile Security Services run by Col. Ramana was obtained and the quote is around Rs.6,000/-per month per head for providing good security guards, for a duty of 8 hours per day. The new body may take up the issue of appointing a regular agency for security

h) **Reading cum GYM:-**

The existing Reading Room which was sparingly used for the assigned purpose was augmented with the following GYM equipment:

- i) Dumbbell Set (Steel) 19Nos
- ii) Thread Mill Electrical
- iii) Thread Mill Manual - Donated by Wg Cdr(Retd)V.Satyanandam H.No.10
- iv) Thread Mill Manual - Donated by Ex Tenant of JVV Mr.Ram(Nizam pet Road)
- v) Walker cum Spirit - Donated by Wg Cdr(Retd)PR.Singh H.No.275
- vi) Cycle - Donated by Smt.K.Indira Reddy H.No.24
- vii) Push up
- viii) Multi Gym - 1+ small
- ix) Music System with 5 speakers
- x) Weighing Machine
- xi) Ground Mats 6Nos

Wg Cdr(Retd)ISS.Raju DU.No.101 helped a lot while developing the GYM

The Association appreciates and thank the donors for their liberal contribution to the cause of the Society for improving and maintaining the health of the residents. Around 25 people per day on the average are using the GYM.

The Deputy Commissioner, Kukatpally municipality during visit on Dt.19-2-2008 promised to construct a hall over the existing reading room for the use of the society like Yoga, Meditation, Ladies Club etc. This has to be followed up by the next Board of Managers.

i) **Registration of the Dwelling Units:-**

28 Dwelling Units were Registered and 9 Dwelling Units are being processed for Registration.

Action on agenda points of EGM:-

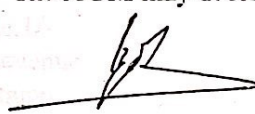
- 1) The collection of Rs.500/-per Dwelling towards the cost of specials was resolved by refunding or adjusting in the water bills.
- 2) The proposal of swimming pool is differed.
- 3) **Ganesh Idol:-** Spiritual center- A committee has to be formed to address this issue. No body has volunteered --- the decision is pending.

Agenda Points

1. **Water Bills:-** Computerization of water bills

2. **Security Measures:-** The existing security staff to be withdrawn and a new contract to be given to a reputed concern.

3. **Basket Ball Court**:- Since the Residents around the Basket ball court are objecting to play games, a mesh to be arranged on all the four sides of the court.
4. **Gandhi Vanam**:- Gandhi Vanam to be cleaned and leveled and arrangements to be made to play cricket, Volley ball and Football.
5. **House construction in neighbour colonies**:- A strict vigilance to be kept with the help of Municipal Corporation, since they are constructing houses on our compound wall and near by. As per the existing rules in force they are not leaving minimum 3 meters distance beyond our compound wall.
6. **Akash Ganga**:- A shelter to be provided on south side for kitchen and one more shelter to be provided on West side for dining purpose. Sufficient illumination to be provided all around Akash Ganga.
7. A proposal to be made to give gift / remuneration to the existing staff.
8. Enhance the existing Shopping complex with the complete plan as approved by the AGM earlier.
9. Residents are regularly interfering with the working of the office staff. It is suggested, only complaints if any may be left in writing with the staff for perusal by BOM. It is suggested to have counter system which may be perused by the next BOM.
10. It is suggested that BOM may be constituted with members who can effectively contribute more time to the society.
11. Unauthorized water tapping is to be viewed seriously. The AGM may decide the course of action in such cases.


Wg Cdr Jaganmohan Manthana
President

ALWAYS WEAR APPOINTMENT OWNERS' ASSOCIATION

Reg'd. 1947 of 1992

Montpall, Hyderabad-500072 Phone: 26228818

PROXY FORM

ANNUAL GENERAL BODY MEETING: AGM-20

I/We _____ of _____

_____ a Member of Always Wear

Apartment Owners Association hereby appoint _____

or His/Her _____ or failing that _____

of _____ as my/our Proxy to attend and vote in my/our name

at the Special Meeting of the Association to be held on 10 Jun 2008

and sign on my/our behalf

Relationship _____

Dated this _____ day of May 2008

By/For
Signature
Stamp

Signed by the said _____

NOTE:

A. The proxy form must reach the office of the Association not less than 48 hours before the beginning of the meeting, i.e. by 4PM 30 May 2008.

B. A member may appoint any one of the following as his/her proxy.

- a. Mother
- b. Father
- c. Son, if a major
- d. Daughter, if a major
- e. Spouse
- f. A member of the Association
- g. CPA holder on his/her behalf

C. A person cannot hold more than one proxy. However, Member of the Association may hold upto two proxies. A proxy can take part in discussions at a meeting and cast his/her vote. Relationship of a proxy to the concerned member shall be indicated in the proxy form and the proxy may be required to prove his/her identity.

ALWAYS WEAR
APPOINTMENT OWNERS ASSOCIATION
MONTPALL, HYDERABAD-500 072